



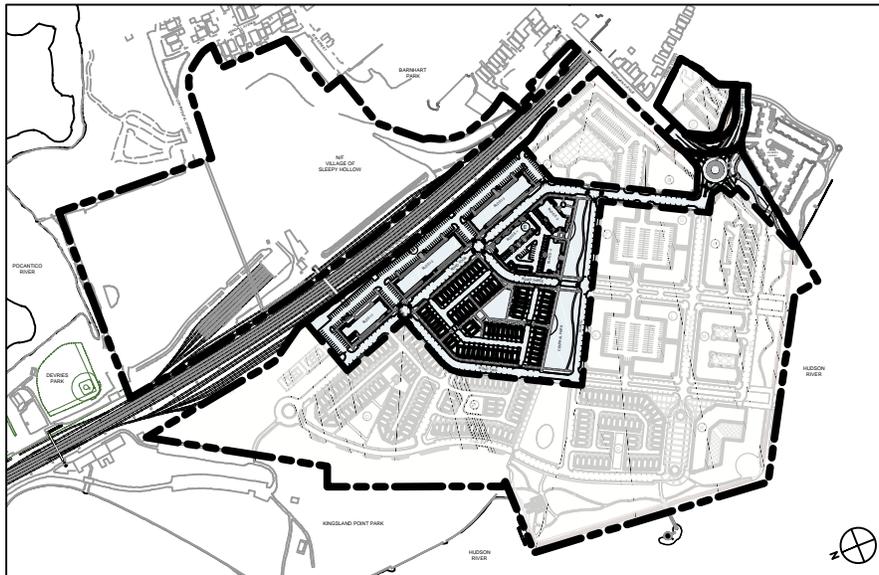
EDGE-ON-HUDSON

SLEEPY HOLLOW, NEW YORK

APPLICATION FOR SITE PLAN & SUBDIVISION APPROVAL

PHASE ONE SUPPLEMENTAL SUBMISSION 2

SEPTEMBER 9, 2015



OWNER / APPLICANT

Lighthouse Landing Venture LLC
1270 Avenue of the Americas, Suite 301
New York, NY 10020

SITE ENGINEER / LANDSCAPE ARCHITECT

DIVNEY • TUNG • SCHWALBE
Intelligent Land Use

Divney Tung Schwalbe, LLP
One North Broadway
White Plains, NY 10601

ARCHITECT / LANDSCAPE ARCHITECT

HART HOWERTON
PLANNERS-ARCHITECTS
LANDSCAPE ARCHITECTS

10 East 40th Street
New York, NY 10016

**EDGE-ON-HUDSON
VILLAGE OF SLEEPY HOLLOW, NEW YORK**

**APPLICATION FOR PHASE 1 SITE PLAN & SUBDIVISION APPROVALS
SUPPLEMENTAL SUBMISSION**

OWNER & APPLICANT

Lighthouse Landing Venture LLC
c/o SunCal
1270 Avenue of the Americas, Suite 301
New York, NY 10020

TAX MAP DESIGNATION:

Section 115.10, Block 1, Lots 1 (West Parcel)
Section 115.15, Block 1, Lots 1 (South Parcel)

CONTRIBUTING PROFESSIONALS:

1. **SITE ENGINEER/LANDSCAPE ARCHITECT**

Divney Tung Schwalbe, LLP
One North Broadway, Suite 1407
White Plains, NY 10601

2. **ARCHITECT/LANDSCAPE ARCHITECT**

Hart Howerton
10 East 40th Street
New York, NY 10016

3. **ZONING COUNSEL**

Delbello Donnellan Weingarten
Wise & Wiederkehr, LLP
One North Lexington Avenue
White Plains, NY 10601

September 9, 2015

Chairman Eliot Martone and
Members of the Planning Board
Village of Sleepy Hollow
28 Beekman Avenue
Sleepy Hollow, NY 10591

Re: Phase 1 Site Plan and Subdivision Application
Edge-On-Hudson Riverfront Development
199 Beekman Avenue, Sleepy Hollow

Dear Chairman Martone and Members of the Planning Board:

On behalf of Lighthouse Landing Venture LLC (“Applicant” or “LLV”), we are pleased to submit revised plans and documentation in support of the pending Phase 1 Site Plan and Subdivision application (“Application”) for the Edge-On-Hudson Riverfront Development. The documents included herewith were modified in response to Planning Board comments and the correspondence addressed to the Planning Board from Planning and Development Advisors and Dolph Rotfeld Engineering, P.C. dated August 17, 2015 and August 21, 2015 respectively.

The enclosed 09/03/15 Application drawing set has been updated and expanded, and replaces the 07/15/15 set previously submitted. Exhibit 1, Landscape Architecture (09/03/15), provides additional details for the proposed public open spaces, benches, lighting and specialty pavements, and replaces the similarly-titled exhibit from our July 15, 2015 submission. Exhibit 2 contains an Engineering memo describing the proposed rain garden and bioretention areas for the site. These materials should be considered in conjunction with the exhibits in the July and May 2015 Application packages unless otherwise noted.

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

September 9, 2015
Page 2

Planning Development Advisors (August 17, 2015 memo to Sleepy Hollow Planning Board)

1. **Comment:** *The Applicant has indicated that they are proposing to use painted crosswalks in the Central Park District as illustrated on the Central Park: Materials sheet. This design treatment is inconsistent with the intentions of the Design Guidelines which specifically calls for special paving treatments. It is suggested that the Applicant provide the Planning Board with some examples of special paving treatments that could be applied throughout the Central Park District. Details in the Landscape Architecture section of the Phase One Supplemental Submission should be coordinated and consistent with the large scale plans.*

Response: The Applicant is proposing to utilize interlocking hexagonal block asphalt pavers on the Neighborhood Walkway in the Central Park district. Decomposed granite paving will be used on all other pathways in the Central Park district. The crosswalks within the Central Park district are proposed to be concrete pavers with a concrete accent band. The crosswalks on Road Four near the entrance to the Central Park will also receive this treatment. *See Hardscape Materials: Paving and Hardscape Materials: Crosswalks* for more details on the proposed materials.

The landscape plans and engineering plans have been coordinated and are now consistent.

2. **Comment:** *Similarly, the Applicant is proposing a concrete sidewalk for the proposed Neighborhood Walkway on the eastern side of the Central Park. The examples in the Design Guidelines present a different image (refer to pages 19, 20 and 35 in the Design Guidelines). The Planning Board should request that the Applicant provide an alternative treatment for this aspect of the Central Park.*

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

September 9, 2015
Page 3

Response: For the Neighborhood Walkway on the eastern side of the Central Park the Applicant is proposing to utilize interlocking hexagonal block asphalt pavers. This paving treatment is consistent with the modular paving examples in the Central Park District depicted in the approved Design Guidelines, and will serve to connect the interior open spaces with the future riverfront open space walkways, which will utilize the same hexagonal pavers. Additionally, the crosswalks adjoining the Central Park will consist of concrete pavers with a bordering concrete accent band.

3. **Comment:** *It is noted that at the July 2015 presentation to the Planning Board, one of the first comments from the Planning Board related to the appearance of the proposed benches. One of the standards identified in the Design Guidelines is the use of quality materials – quality materials age well, stand up to abuse and have a comparatively long life expectancy. While there are limited examples of street furniture, like benches, refer to pages 17, 20, 21, 22, 50 in the Design Guidelines, it would be helpful if the Applicant could provide some additional background on the type of benches proposed and where those elements have been used in other park settings.*

Response: In keeping with the standards identified in the Design Guidelines which stress the use of quality materials, the benches proposed for the Edge-on-Hudson development will have a steel structure and a back cured with a powder coat finish and a Jatoba hardwood seat. According to the web site of Modern Design Site Furnishings, the seat and backrest are joined firmly together to the supporting frame. All four legs of the bench can be easily anchored to the ground as illustrated on *Site Amenities: Seating Installation*.

4. **Comment:** *The Applicant has indicated that textured concrete paving be used at the entrance roundabout and has provided a detail on Sheet SP-8.4 of the Site Plan drawings. A review of that detail still doesn't reveal much, if anything, of how that treatment will*

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

September 9, 2015
Page 4

look. It is noted that the treatment of the roundabout wasn't specifically addressed in the Design Guidelines as it wasn't part of the Site Plan at that time. However, it is one of the signifying gateway features to the new community. The Village needs to provide some guidance to the Applicant as to how this feature gets treated. There may be an opportunity, as part of the public hearing to solicit input from the public as to how this feature ultimately gets treated, particularly the center island. In addition, as noted in our June 3, 2015 review memo, there may be an opportunity to address this issue as part of the Beckman Avenue Bridge design working group process.

Response: The Applicant recognizes that the proposed roundabout serves as a focal point and gateway to the Edge-on-Hudson community as well as to the Village of Sleepy Hollow from River Street and the Village of Tarrytown to the south. The travel lanes of the public roadways will be asphalt, while the truck aprons along the roadway edges and the outer ring of the center island will have a mountable curb infilled with textured concrete with a cobble pattern. The center of the circular island will be landscaped, but may also be considered for an entry monument or other special element. The Applicant intends to work with the Village design committee to finalize the plans for this area.

5. **Comment:** *Similar to the entryway roundabout, the Village Green was designed after the preparation of the Design Guidelines. It is an important public space given its location at the entrance to the Project Site and its interface with the neighboring Ichabod's Landing. The design considerations should be consistent with those established for the Central Park District with respect to quality of materials. Details in the Landscape Architecture section of the Phase One Supplemental Submission should be coordinated and consistent with the large scale plans.*

Response: The Village Green will be comprised of a meandering ten (10) foot wide garden pathway utilizing hexagonal asphalt paver which will link

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

September 9, 2015
Page 5

River Street, the Edge-on-Hudson development and Ichabod's Landing to the Hudson River waterfront. A low stone faced seating wall will line the garden path and provide ample seating while holding back the planted slope. The landscaping will include evergreen and deciduous plants as well as native grasses to add seasonal interest.

6. **Comment:** *The Applicant has included a note on the revised plan regarding the possible low-intensity recreational use in the northern end of the I-Block. The initial comment suggested possible uses. The concern is that possible use that can be programmed in coordination with future residents will be forgotten over time and the areas will remain unused. The Applicant should make a commitment to providing some recreation/community uses or at least provide a list of potential uses that will be provided as part of site development. The Planning Board may want to consider tying the provision of the recreation/community uses with the issuance of the temporary or permanent certificate of occupancy or the I-1 building.*

Response: The exterior common space, adjacent to the northerly end of the senior building (I-1) has been programmed to include a bocce court comprised of decomposed granite with an adjacent manicured lawn area. Additionally, the Applicant is proposing a hardscaped gathering space that will include a specialty paving. Along the rear of the I-1 building between the six foot wide concrete walkway that runs adjacent to the parking lot and the building, ground cover is proposed.

7. **Comment:** *The Applicant has provided a preliminary analysis as to potential application of the LEED Certification which indicates, at the very least, the Phase One and larger buildings should be able to meet the Certified level. It is noted that the choice of materials and the mechanicals interior to the building will not be chosen until later in the building design process. The Applicant should report back to the Planning Board at the time*

a building permit is being requested to indicate where the building would fall on the LEED ranking criteria.

Response: Once the building details and the interior mechanical plans are finalized, the Applicant will submit an updated analysis indicating which LEED criteria the project is anticipated to satisfy.

8. Comment: *The Applicant has provided some additional details on the Market Courtyard concept, however, it doesn't appear to be reflected on the large scale site plan drawings. Given its prominent location and the intention of acting as a community space it is suggested that additional furniture (chairs and tables) be added as an amenity, consistent with other comparable urban open spaces. The programming and maintenance of areas like the Market Courtyard are issues for the Village of Sleepy Hollow to consider with the Applicant. It would be important to hear from the Village Administrator as to how the Village handled the Ichabod's Landing waterfront open space and whether there are any lessons learned that should be applied to the new landscapes to be made available to the public. Does the Village want to continue to maintain public open space in the Riverfront District or is there an alternative arrangement with Applicant. One of our earlier comments raised the issue of how a homeowners association (HOA) would address maintenance of the private areas of the site. If there is going to be some arrangement between the Village and the Applicant regarding maintenance there should be some language relative to how this would work and the responsibilities of both parties. This issue takes on even more importance later in the site development process once the waterfront open space becomes available.*

Response: Within the proposed Market Courtyard, the Applicant is proposing a small pavilion of approximately 32 × 12 feet. This structure will have a stone base, stucco wall and shingle roof and will open onto a plaza comprised of decomposed granite. There will be a passageway

through the building connecting the Central Park area with the Market Courtyard and Road Four. Inside the structure will be ample storage for the moveable bistro chairs and tables.

The Applicant is currently working with the Village to determine the maintenance responsibilities for the public and private areas of the site.

9. **Comment:** *The lighting fixture suggested by the Applicant appears to be consistent with the example provided in the design guidelines. Is there a reasonably nearby development in the Metropolitan area where it has been used?*
- Response:** A list of locations where the proposed Louis Poulsen fixture has been installed is provided at the end of Exhibit 1, Landscape Architecture. The closest installation is along the streets of Westchester's Ridge Hill, located in Yonkers, New York.
10. **Comment:** *Is there a formal agreement relative to the statement: Restaurant Parking Area to Remain as noted on Sheet SP-0.1 of the Site Plan set? That part of the South Parcel is to be conveyed to the Village. It is suggested that the note be removed from the plan.*
- Response:** Yes, there is an agreement for interim use of the parking area. This note has been removed from Sheet SP-0.1 of the engineering plans.
11. **Comment:** *It is not exactly clear, but it appears that there is a pervious treatment applied along the alleyways which would further address stormwater management and stormwater quality. Does this include the use of a grasscrete type material? Is there an opportunity for more extensive use of this technique in this location? The use of porous pavement is part of the design standards found in Section 450-18.L.(6) of the Sleepy Hollow Code.*
- Response:** Asphalt paving is proposed for the alleyways and specialty paving, consisting of interlocking concrete pavers is proposed for the townhome driveways.

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

September 9, 2015
Page 8

12. Comment: *It is our understanding that, at some point in the near future, the Village will be retaining a landscape architect to review elements of the proposed Landscape Plan. It would be important to provide an evaluation of the proposed planting details in relation to the site's brownfields status.*

Response: Comment noted. A note has been added to the Landscape Details, Sheet SP-8.2 to indicate conformance with the SMP, a copy of which is on file with the Village of Sleepy Hollow.

Dolph Rotfeld Engineering, PC (August 21, 2015 memo to Sleepy Hollow Planning Board)

General

G1. Comment: *It is recommended that the full set of plans be referred to the Village's Police and Fire Departments. This office will review the plans with the Department of Public Works. This office's review with the Village DPW is ongoing.*

Response: Comment noted. Additional sets of the updated plans were delivered to the Department of Architecture, Land Use Development, Buildings and Building Compliance at Village Hall and distributed to the Police and Fire Departments. Furthermore, the Applicant met with and reviewed the Phase 1 Site Plan and Subdivision plans with the Police and Fire Departments on Thursday, August 13, 2015.

G3. Comment: *A photometric plan must be submitted for review. The review of the photometric plan is ongoing.*

Response: Comment noted. A photometric plan was included as part of the July 15, 2015 submission.

G6. Comment *All concrete aprons for driveways must be at least 7" thick NYSDOT Class D concrete. Please specify that the concrete apron detail on Sheet SP-8.1 is to include driveways. Please label*

concrete apron for the driveway between townhouse units 20 and 21 on Sheet SP-1.2. Please specify that the concrete apron detail on Sheet SP-8.1 is to include driveways. Please label concrete apron for the driveway between townhouse units 20 and 21 on Sheet SP-1.2.

Response: Comment noted. Detail 3 on Sheet SP-8.1 has been modified accordingly and the additional label has been added on Sheet SP-1.2 to identify the concrete apron for the driveway between Townhouse units 20 and 21.

G8. Comment: *Easements must be provided for water and sewer mains behind town homes. It is noted that easements are now shown on the utility plans. Easements will also need to be included on the Subdivision Plan.*

Response: Comment noted. The preliminary Subdivision Plan, prepared by Control Point Associates Drawing No. 1 of 1, submitted herewith has been revised to indicate the required easement locations.

G9. Comment: *Please provide a pavement cross section detail.*

Response: Refer to Detail 2 on Sheet SP-8.1 for the requested pavement detail information.

G10. Comment: *The inner truck apron of the roundabout must be NYSDOT Class D concrete. All concrete curbs in the roundabout and within the project site must be NYSDOT Class A concrete.*

Response: Comment noted. The details found on Sheet SP-8.5 have been revised accordingly.

G11. Comment: *All concrete pavers must be set in concrete.*

Response: Comment noted. A note has been added to the Specialty Paving detail found on Sheet SP-8.2, Detail 13 that requires all concrete pavers within the public right-of-way areas to be set in concrete. Areas outside of the public right-of-way are to be set in a sand bedding.

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

September 9, 2015
Page 10

- G12. **Comment:** *A detail or description of the “patterned crosswalk” must be provided.*
Response: The “patterned crosswalk” will be constructed of interlocking concrete pavers. See image on page 4 of Exhibit 1, Landscape Architecture.
- G13. **Comment:** *Footing details must be provided for the posts of the proposed masonry screen wall.*
Response: Minimum footing dimensions have been added to the Screen Wall Detail 3 found on Sheet SP-8.4. Final design will be provided during the building permit review process.
- G14. **Comment:** *Root barriers must be provided for street trees. Please provide details.*
Response: Comment noted. See Detail 7 on Sheet SP-8.4.

Utilities

- U1. **Comment:** *Calculations must be provided for sizing of water and sanitary sewer facilities. Hydrant flow tests have been scheduled for August 25, 2015.*

Response: Calculations for the sizing of the sanitary sewer facilities were provided in the engineering supplement submitted for review on July 15, 2015.

Village DPW and the Village Engineer performed a hydrant flow test on the existing 10 inch main located in Beekman Avenue on the morning of Tuesday, August 25, 2015. The Village Engineer provided the results of the testing to the Applicant’s Engineer on Thursday, August 27, 2015. This information will be used in running the requested calculations on the new water facilities and will be submitted for the review and approval of the Village Engineer.

- U2. **Comment:** *Will existing County sanitary sewer manhole rims within Phase I and in the Beekman Avenue and Road Four rights of way need*

to be adjusted to accommodate grade changes? Details must be provided for adjustments of existing County sanitary sewer manholes.

Response: Comment noted. Details of construction will be included in the Building Permit review set. These details will need to be reviewed with and approved by the Westchester County Department of Environmental Facilities.

U7. Comment: *All bends and fittings must use Megalug retainer glands. "FIELD LOK" gaskets or approved equal are required at pipe joints that are at least one full pipe length before and after fittings. If a single full pipe length cannot be achieved from the joint with the fitting then "FIELD LOK" gaskets are required at all pipe joints until the equivalent of a full pipe length from the fitting is reached. Thrust blocks must be provided for all bends and fittings.*

Response: Comment noted. Thrust block details have been added to the plans. Refer to Detail 6 on Sheet SP-8.3.

U8. Comment: *All sanitary sewer mains including those behind the townhomes must also be profiled.*

Response: The requested profiles have been added to the plans. Refer to Sheet SP-6.3, Sanitary Sewer profiles.

U9. Comment: *Please check the title of sanitary sewer profile illustrating the connection to the County manhole.*

Response: Comment noted and the title has been revised.

U10. Comment: *Drop manholes may be used to minimize excavation. Please provide details.*

Response: Drop manholes are now shown at Sanitary Sewer Manholes A-1, A-4, A-6, and B-1-1. Details for an inside drop manhole have also been added to the plans. See Detail 12, on Sheet SP-8.1.

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

September 9, 2015
Page 12

- U11. **Comment:** *A sanitary sewer manhole must be added at the end of pipe at the end of Road Four.*
Response: The requested additional sanitary sewer manhole has been added to the plans and is located at approximately Sta. 18+30.
- U12. **Comment:** *Please check sewer profile: SMH D-4 to SMH C-1 for structure D-3.*
Response: Information for structure D-3 has been added to Sheet SP-6.2.
- U13. **Comment:** *Please confirm that all crossings are shown on all sanitary sewer, storm drain and water main profiles and that each utility that is crossed is identified.*
Response: Utility crossing information has been added to the utility profile drawings; see Sheets SP-6.1 through SP-6.9.
- U14. **Comment:** *Please check that all water main piping alignment is not shown through or under other structures.*
Response: Comment noted. The water main alignments along Roads Two and Three have been adjusted to clear storm drainage structures located within the right-of-way at their respective intersections with Road C.
- U15. **Comment:** *Please confirm that ten (10) feet of horizontal separation is provided between water main and drainage piping behind townhouses in Block J?*
Response: Utility alignment adjustments have been made within Block J to provide the required 10 foot separation between water mains and both sanitary and storm sewer lines.
- U16. **Comment:** *The slope of the sanitary sewer main between SMH A-4 and SMH A-4-1 must not be less than 0.5%.*
Response: Comment noted. The slope of the subject sewer main has been increased to 0.78%. Refer to the profile on Sheet SP-6.3.

Grading

GR2. Comment: *Proposed grading must be labeled more clearly. Spot elevations should be added at all high points and low points on the grading plan, both in the roadways and landscaped areas.*

Response: Additional spot elevations have been added to the Grading Plans, Sheets SP-1.1 through SP-1.3.

Stormwater

S4. Comment: *All storm drain mains must be profiled*

Response: All storm drain lines either within the public right-of-way or to be dedicated to the Village have been profiled. Refer to Sheets SP-6.4 through SP-6.7.

S6. Comment: *It is recommended that the depths of all proposed structures be reexamined and reduced where feasible.*

Response: Comment noted.

S7. Comment: *Please provide calculations for sizing of all rain gardens and bio-retention areas.*

Response: A technical memorandum is included in the attached Engineering Supplement that provides the requested sizing calculations.

S8. Comment: *All catch basins must be provided with 36"× 48" inside dimensions. Castings must be Campbell model 2617 bicycle-safe grates with type "N" curb pieces. All castings must be marked, "dump no waste, drains to waterways."*

Response: In discussion with the Village Engineer on September 2, it was agreed that all structures may be provided with 30" × 48" inside dimensions. The required casting information has been added to the plans; see Detail 1 on Sheet SP-8.2.

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

September 9, 2015
Page 14

We look forward to reviewing this information with you at the September 17, 2015 Planning Board meeting. Thank you for your consideration.

Very truly yours,

DIVNEY TUNG SCHWALBE, LLP

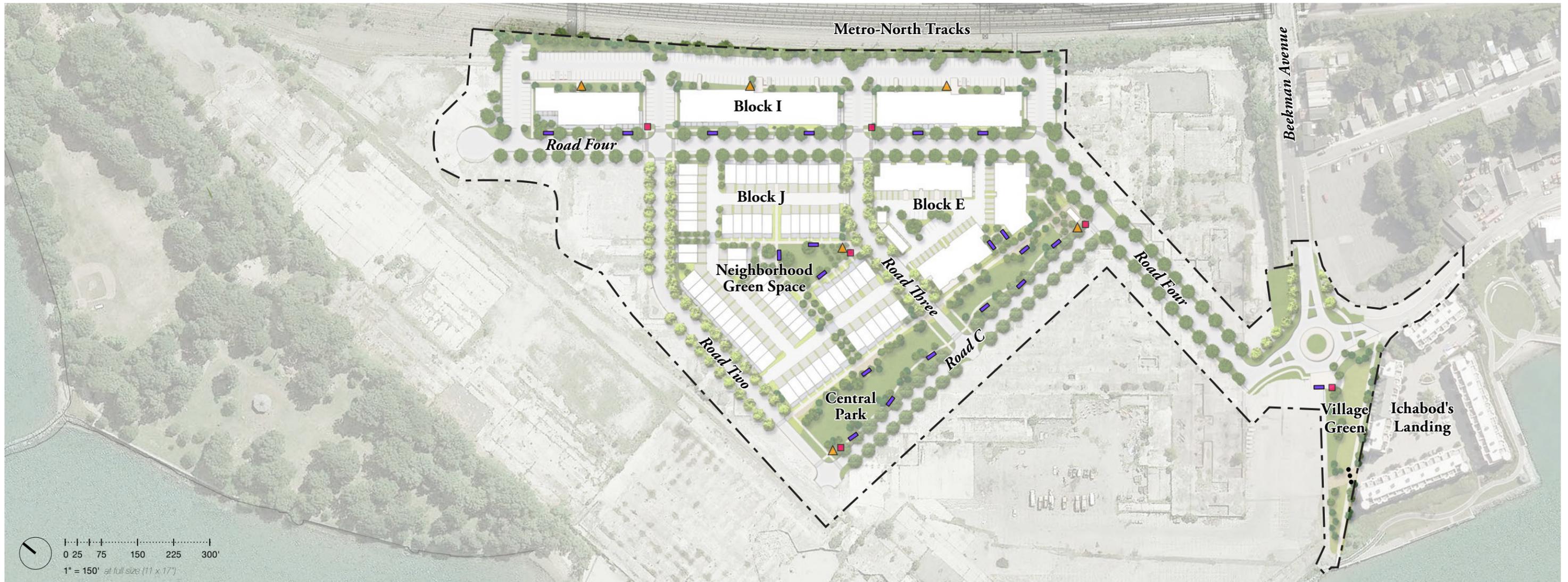


Andrew V. Tung, ASLA, Esq., LEED AP
Partner

Enclosures

cc: Jonathan Stein
George Carafagno
Peter Johnson
Peter Chavkin
Mark Weingarten, Esq.
Nicole Emmons
File No. 780

I. LANDSCAPE



■ Seating

Images may be subject to usage restrictions.



▲ Bicycle Parking

*Per Westchester River Walk Guidelines



■ Litter

*Per Existing Scenic Hudson River Walk Trash Receptacle



■ Removable Bollards

*Per Westchester River Walk Guidelines



The 3 block long Central Park is a community open space for local residents and the Village of Sleepy Hollow. The design palette celebrates the natural setting and heritage of the Hudson River Valley. As a central spine, the park connects to the waterfront providing opportunities for:

- Courtyard with park structure
- Outdoor rooms for small neighborhood seating
- Pathway connections
- Passive & Active recreation

1 Courtyard

- Central park structure and community gathering space set in decomposed granite
- Tree bosque provides shade and seasonal interest

2 Outdoor Rooms

- Neighborhood seating areas of decomposed granite surrounded by plantings

3 Lawn

- Open lawn

4 Park Path

- Decomposed granite pathway meanders through park connecting the community to the waterfront.

5 Neighborhood Walkway

- Hexagonal asphalt paver to match existing scenic river walk pavers

6 Mews Connection

- Concrete walkway lined by flowering beds and shade trees

7 Rain Gardens

- Rain gardens integrated into planting ribbon

8 Crosswalk

- Concrete pavers with accent band



Planting Ribbon



Open Lawn Areas



Seating



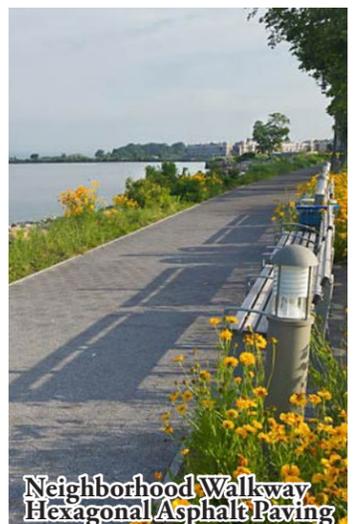
Rain Garden



Decomposed Granite Path

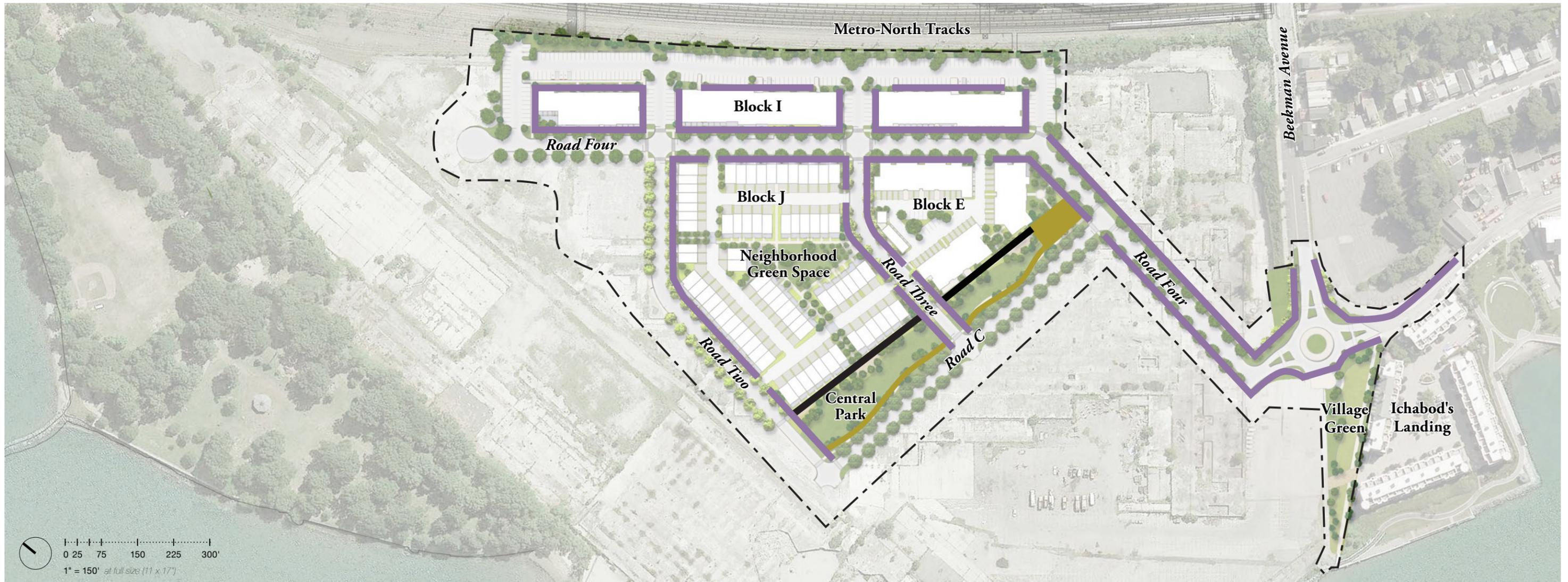


Decomposed Granite With Tree Bosque



Neighborhood Walkway Hexagonal Asphalt Paving

Images may be subject to usage restrictions.



Hexagonal Asphalt Paver

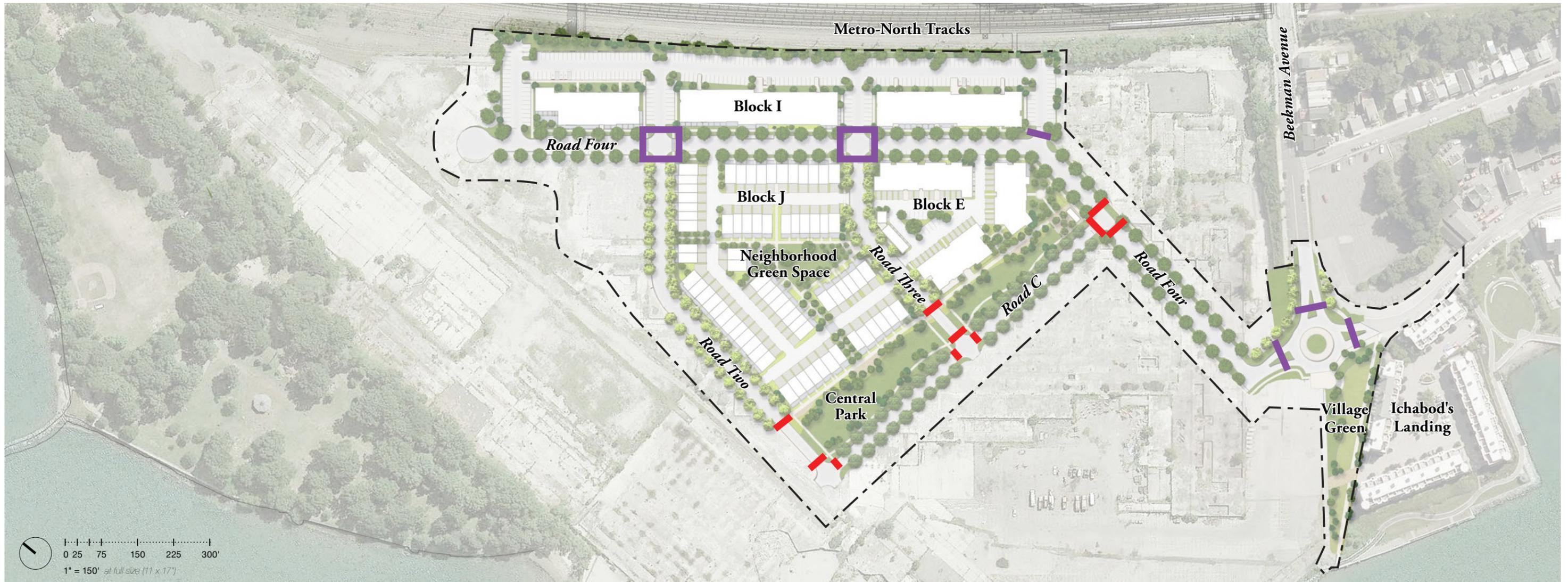
Images may be subject to usage restrictions.



Concrete Paving



Decomposed Granite Paving



Red Crosswalk - Interlocking Concrete Pavers with Concrete Banding

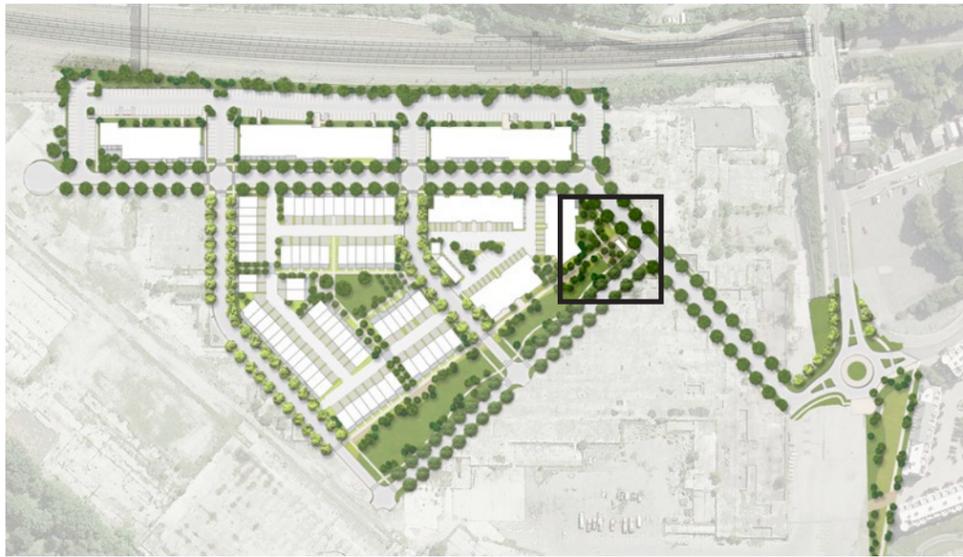
Images may be subject to usage restrictions.



Purple Crosswalk - Painted



Images may be subject to usage restrictions.

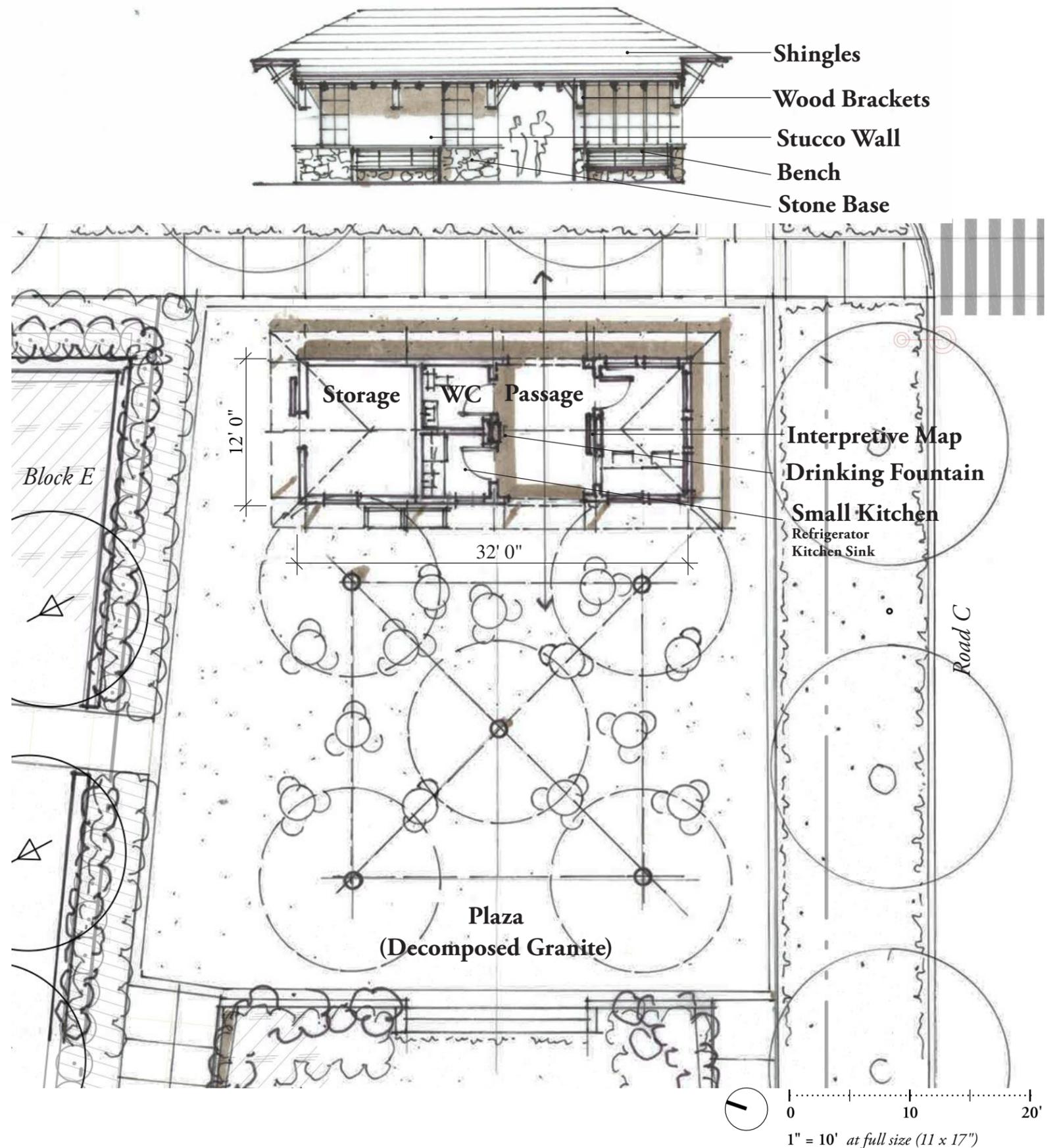


Kingsland Point Park Pavilion



Hudson River Park

Images may be subject to usage restrictions.





Company: Fermob
Model: Park Bistro Table & Chairs
Material: Steel
Color: Black Powder Coat Finish

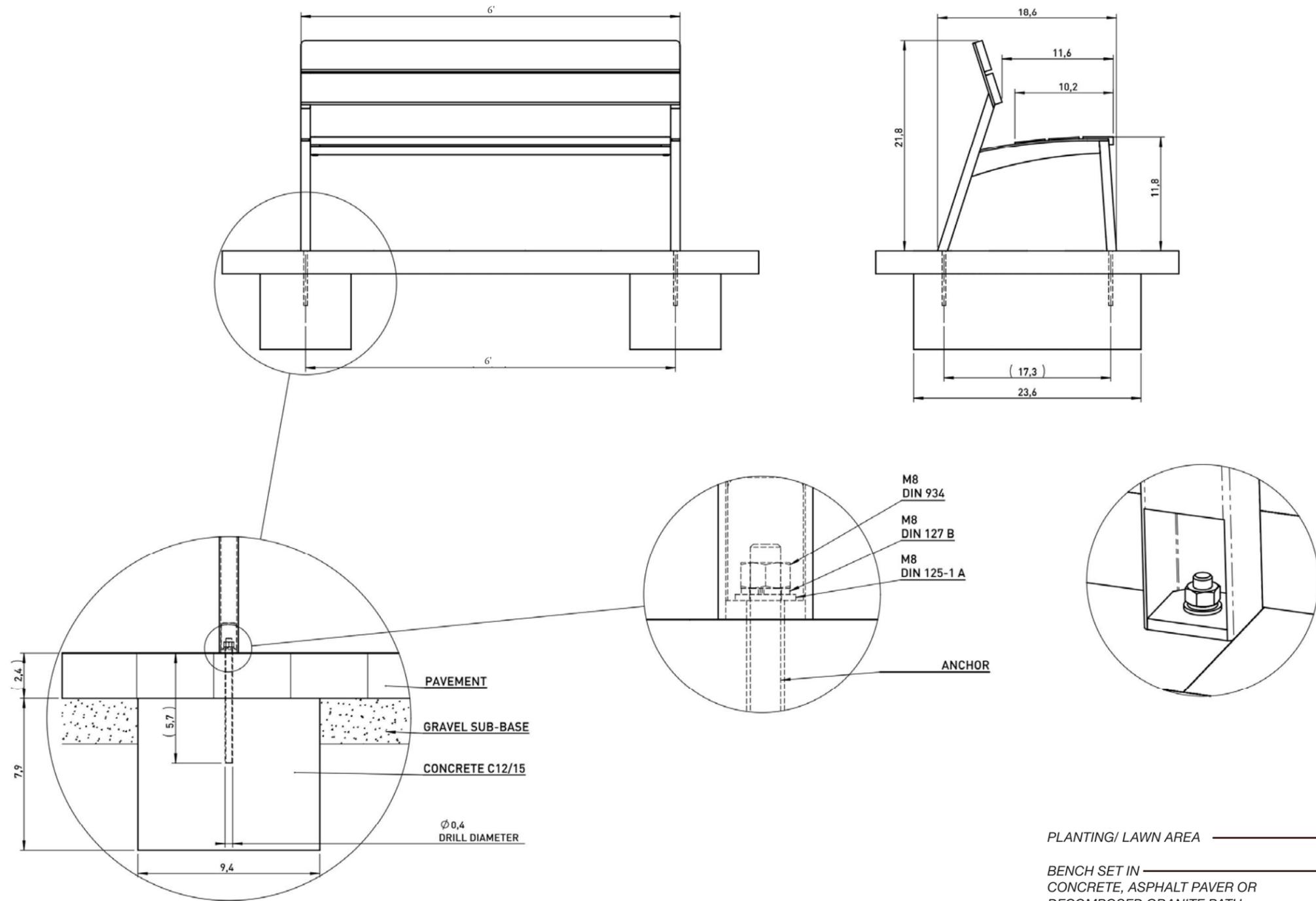


Existing Scenic Hudson RiverWalk Bench

Company: Modern Design Site Furnishings
Model: Vera bench with arms
Material: Jatoba hardwood seat and steel back
Color: Black Powder Coat Finish

Images may be subject to usage restrictions.

Not for construction.
Design intent only.



Images may be subject to usage restrictions.

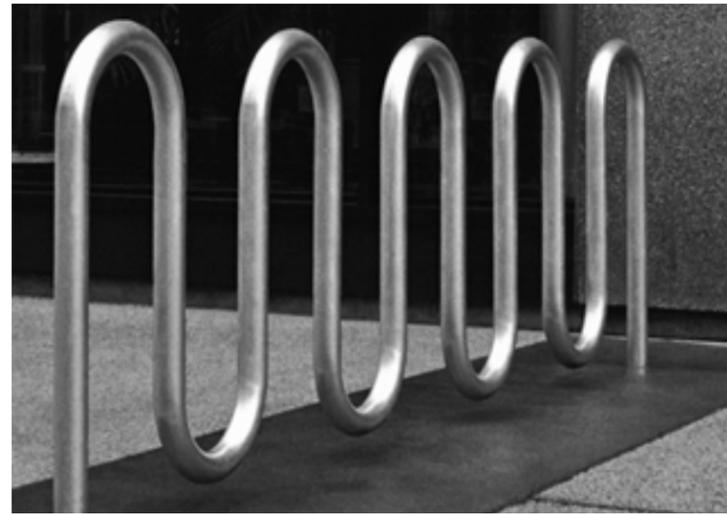


Scenic Hudson River Walk Trash Receptacle & Bench



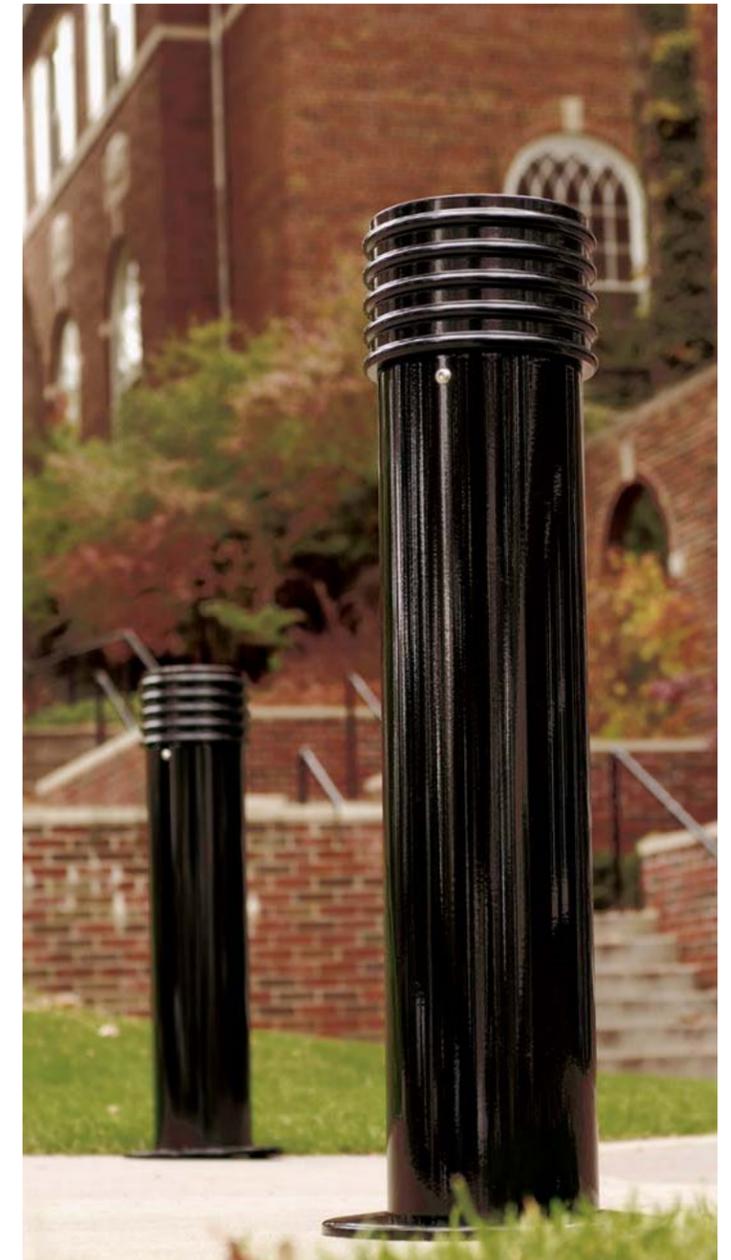
Company: Belson Outdoors
Model: Expanded Metal Recycling and Waste Receptacle
Material: Expanded Steel
Color: Black Powder Coat Finish

*Per Existing Scenic Hudson River Walk Trash Receptacle



Company: Victor Stanley
Model: Loop Rack
Material: Seven loop bike rack tubular steel pipe
Color: Black Powder Coat Finish

*Per Westchester River Walk Guidelines



Company: Landscape Forms
Model: Annapolis
Color: Black Powder Coat Finish

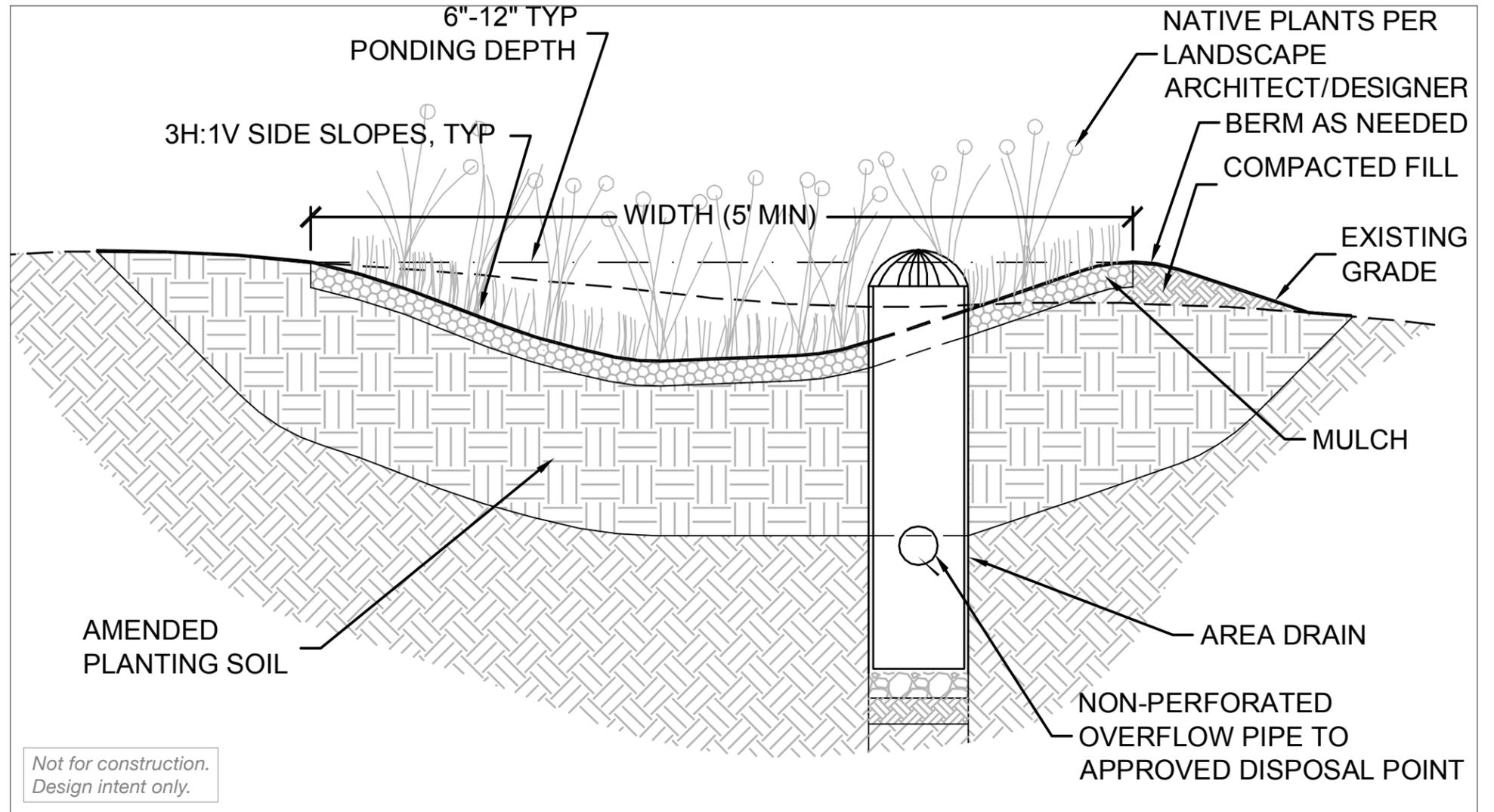
*Per Westchester River Walk Guidelines

Images may be subject to usage restrictions.



The integration of green infrastructure strategies provides a sustainable approach to site design and stormwater management. An organizational element for the community and the integration of bio-retention areas or rain gardens as a sustainable approach to site design is important.

- Bio-retention areas or rain gardens convey runoff into shallow, landscaped depressions that provide on-site treatment for stormwater.
- Using a combination of native trees, shrubs, and herbaceous materials is critical to the function and aesthetic value of the rain garden.

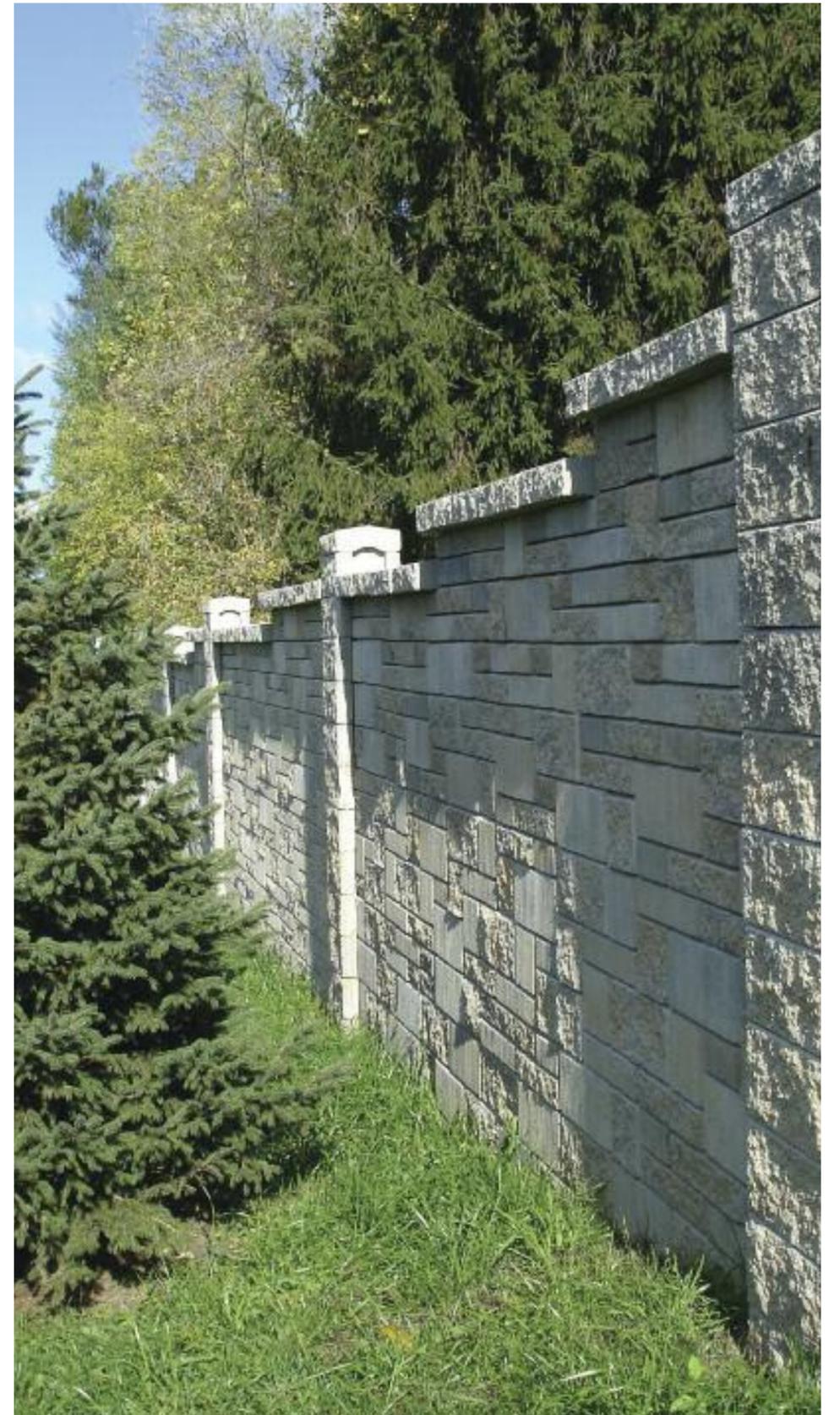


Images may be subject to usage restrictions.



The privacy wall screens the Metro North Railroad Right-of-Way with a 6' height wall constructed to visually match the materials of the bridges across the Hudson River Valley.

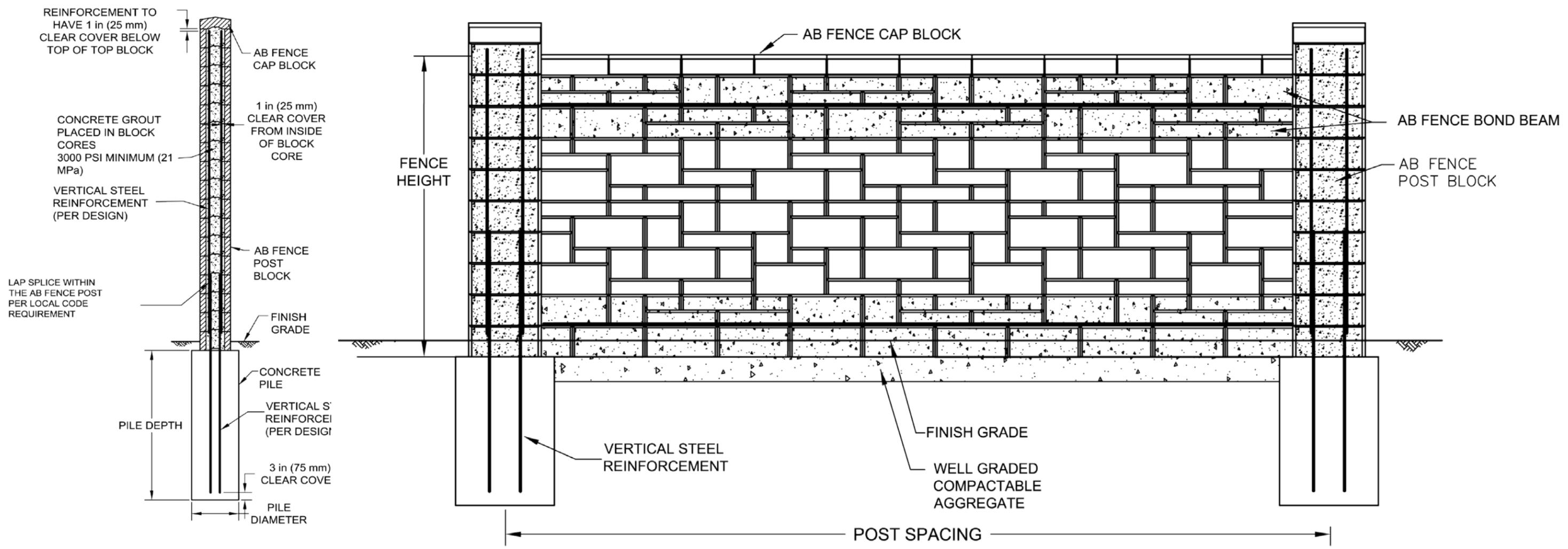
- Rain gardens between the wall and parking will provide additional stormwater management.
- A palette of deciduous and evergreen trees will soften the wall and add seasonal interest.



Existing Bridge Abutment at Beekman Avenue 03/19/2015

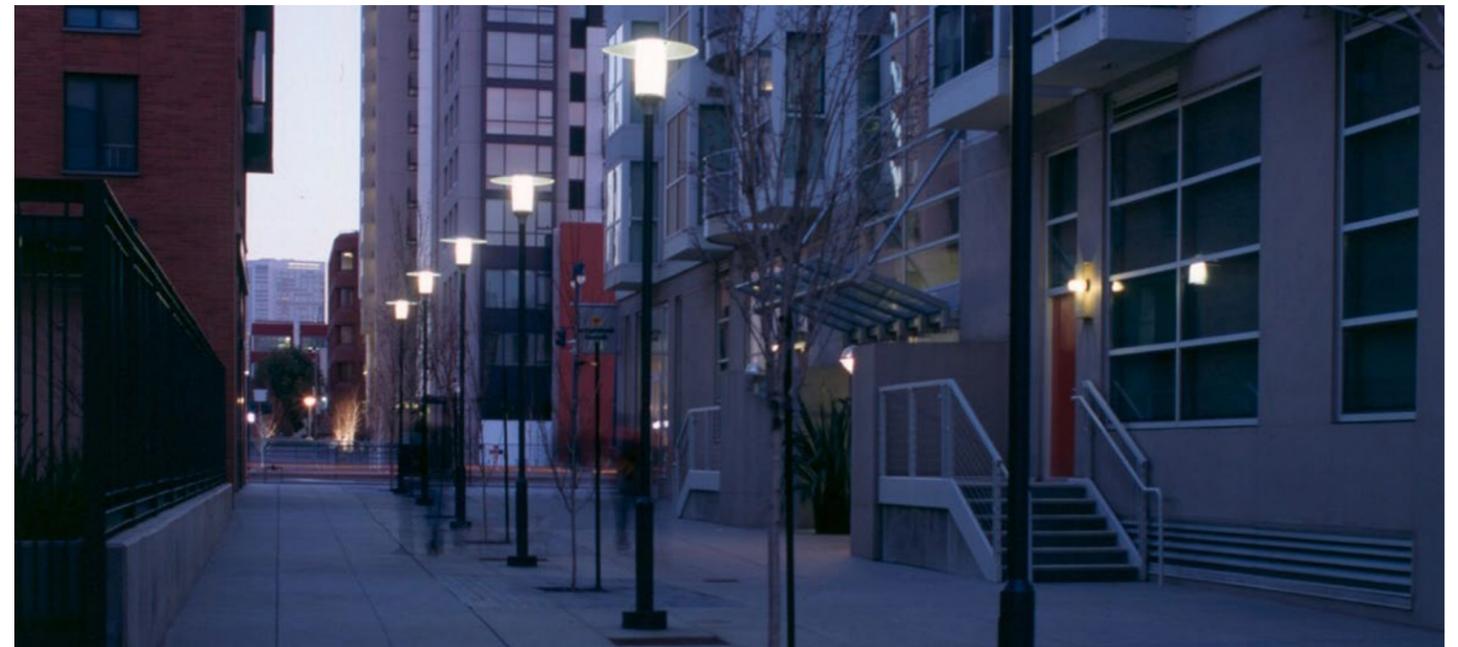
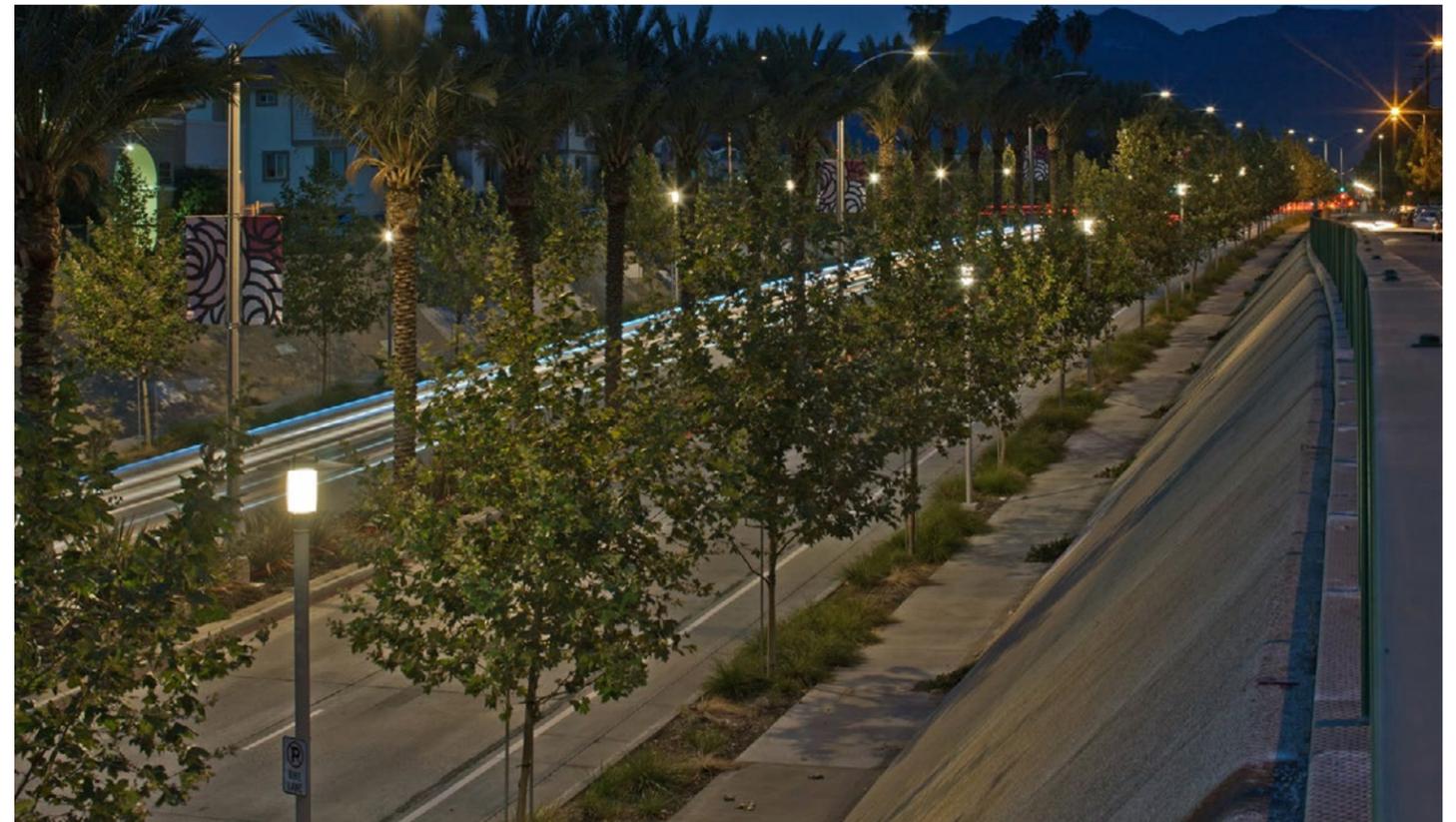
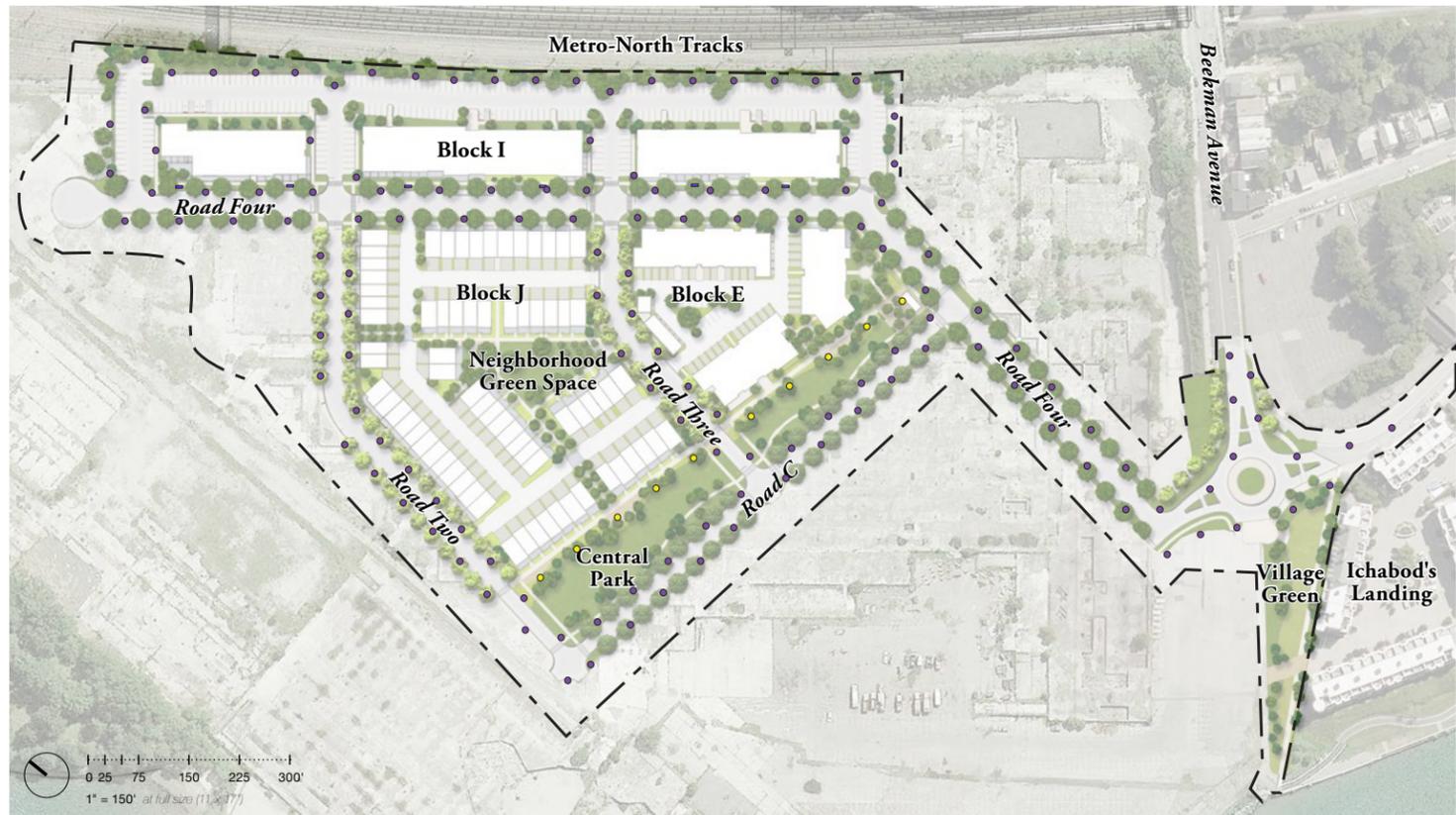
Existing Bridge Abutment at Beekman Avenue

Images may be subject to usage restrictions.



Not for construction.
Design intent only.

Images may be subject to usage restrictions.



● **Street Fixture (14' Height)**
Company: Louis Poulsen
Model: Kastrup
Color: Black Powder Coat Finish

● **Pedestrian Fixture (12' Height)**
Company: Louis Poulsen
Model: Kastrup
Color: Black Powder Coat Finish

Images may be subject to usage restrictions.



The Village Green is an integral part of the open space network and provides a gateway connecting Edge-on-Hudson, Ichabod's Landing, and the surrounding community to the waterfront.

- The planted slopes and open lawn areas are used to enhance the overall community aesthetics and create an outdoor room connecting to the waterfront.
- The evergreen and deciduous plant palette provides seasonal interest and draws from the natural character of the Hudson River Valley.
- Stone walls retain the grade and provide seating opportunities along the pathway that meanders to the waterfront.



Low Stone Wall at Ichabod's Landing



Images may be subject to usage restrictions.

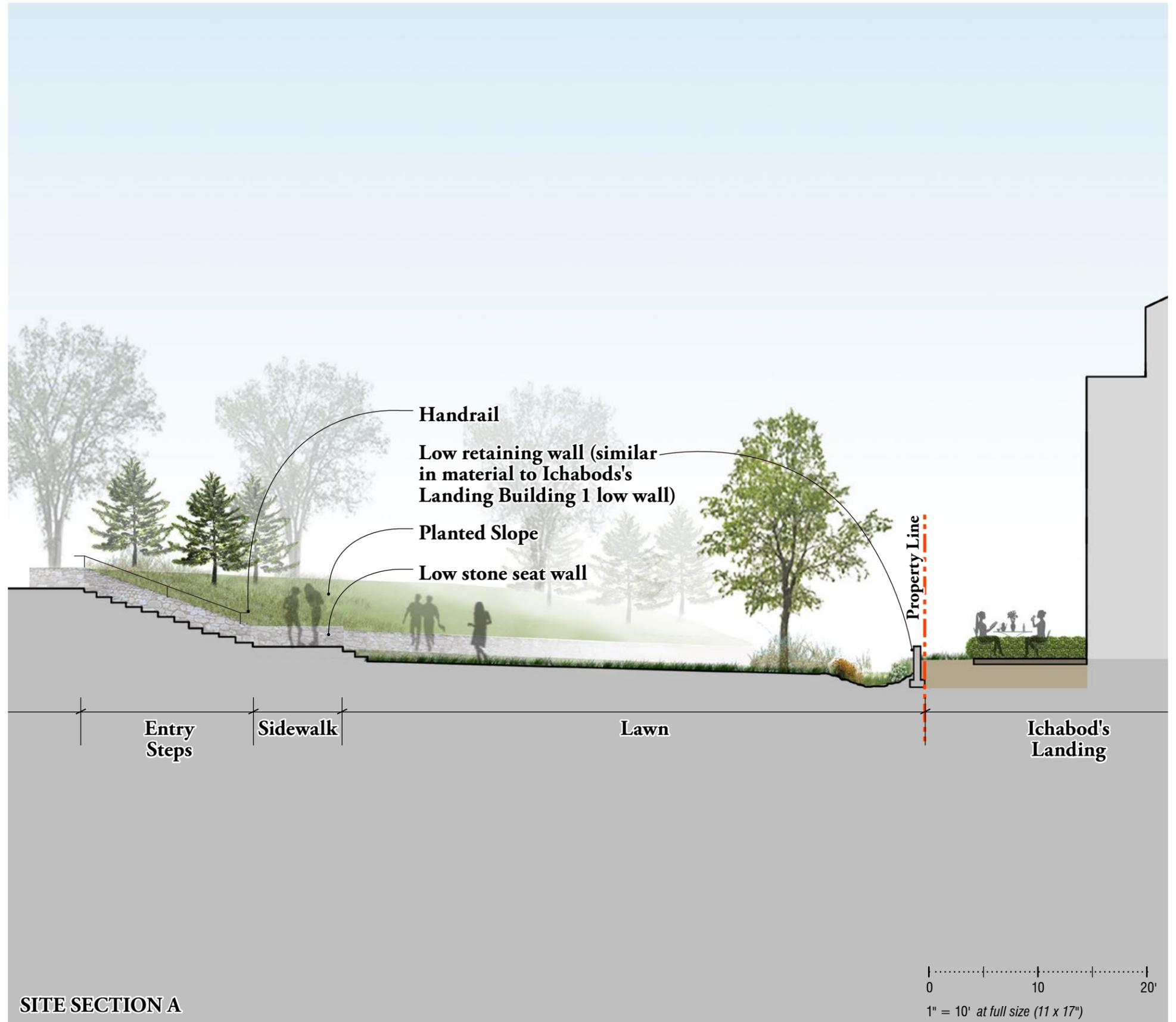




SECTION KEY



Images may be subject to usage restrictions.



SITE SECTION A

LOUIS POULSEN FIXTURE LOCATIONS

Proposed Fixture

| Job Name | Date |
|--------------------------|------------|
| 90 WALL STREET | 1/9/2014 |
| WINCHESTER ARMS - HIGHER | 3/6/2014 |
| WINCHESTER ARMS - HIGHER | 3/6/2014 |
| RIDGE HILL - TYPE L2 | 5/8/2012 |
| RIDGE HILL - TYPE L2 | 5/8/2012 |
| BROOKLYN MUSEUM | 5/28/2013 |
| BROWN UNIVERSITY-4/29/13 | 6/21/2013 |
| RIDGE HILL L2A Add | 7/12/2013 |
| RIDGE HILL L2A Add | 7/12/2013 |
| RIDGE HILL L2A Add | 7/12/2013 |
| MISCCU | 10/30/2013 |
| MISCCU | 10/30/2013 |

II. ENGINEERING

MEMORANDUM

TO: James Natarelli, Village Engineer DATE: September 3, 2015
FROM: Mark S. Gratz, P.E. RE: Stormwater Management

Following is a brief overview of the stormwater management strategies proposed, description of green initiatives, and calculations for sizing of all rain garden and bioretention areas proposed by Edge-On-Hudson.

Stormwater Management Strategies

The 2007 Findings Statement and 2011 Special Permit listed a series of structural measures, such as sediment traps and hydrodynamic separators to provide for sediment and nutrient removal. The 2011 Special Permit also required treatment of surface runoff from buildings and pavement areas prior to discharge in the Hudson River. These measures were proposed in the Project DEIS and FEIS to meet the then-applicable NYSDEC requirements for stormwater discharge.

In the intervening years since the 2007 Findings Statement and 2011 Special Permit, NYSDEC regulations have been amended. With respect to redevelopment projects such as Edge-on-Hudson, the regulations now provide for additional means, including the removal or replacement of existing impervious surfaces with pervious landscaped or grassed areas, to meet NYSDEC stormwater requirements. In accordance with current NYSDEC redevelopment strategies and regulations, the proposed Phase 1 Site Plan work will meet the water quality volume requirements by reducing impervious cover by more than 25%. Under the proposed Phase 1 Site Plan and the approximate 18.5-acre development site, the Applicant plans to reduce the impervious area by approximately 5.4 acres. The net result is an approximate 29% reduction in impervious site coverage within the Phase 1 development area.

Additional detail can be found in the Stormwater Management Report included in the Draft Stormwater Pollution Prevention Plan (SWPPP) in the May 2015 Application submission. Hydrodynamic separators are no longer a requirement to meet the current water quality objectives of NYSDEC and are not proposed.

Description of Green Initiatives

In addition to the approximate 29% reduction in impervious coverage, the Applicant also plans to provide supplemental “green initiatives” or “green streets” practices for additional water quality treatment benefits. The integration of such green infrastructure strategies provide a sustainable approach to site design and storm water management. Under the proposed plan the Applicant is to

construct eight (8) localized bio-retention or rain garden areas to provide supplemental water quality treatment within interior areas of the Phase 1 plan.

The bio-retention and rain gardens areas receive runoff localized watershed areas. Each area is designed as a shallow, landscaped depression that provides on-site treatment for stormwater. Using a combination of native trees, shrubs, and herbaceous materials is critical to the function and aesthetic value of the bioretention or rain garden areas. A detailed plant list can be found on Drawing SP-4.3 of the Phase 1 Site Plan drawings.

Rain Garden and Bioretention Area Calculations

In total, the eight (8) combined areas provide approximately 17,500 SF of treatment area and provide treatment to runoff from approximately 4.4-acres of the Phase 1 development area.

Table 1 below summarizes the individual catchment areas, storage volume and calculated water quality treatment volume for each area. The water quality storage volume was computed on the basis of a 1-year storm event in accordance with DEC standards.

Table 1
Water Quality Treatment Summary

| Bioretention Area | Surface Area (sf) | Catchment Area (sf) | % Impervious | Storage Volume (cf) | WQv⁽¹⁾ |
|--------------------------|--------------------------|----------------------------|---------------------|----------------------------|--------------------------|
| 1 | 1,316 | 43,946 | 21.5 | 1,316 | 1,338 |
| 2 | 947 | 27,279 | 25.1 | 947 | 941 |
| 3 | 1,145 | 15,317 | 37.2 | 1,145 | 737 |
| 4 | 690 | 9,792 | 46.8 | 690 | 577 |
| 5 | 982 | 22,120 | 86.8 | 982 | 2,298 |
| 6 | 5,263 | 21,422 | 78.3 | 5,263 | 2,021 |
| 7 | 4,435 | 28,878 | 34.9 | 4,435 | 1,314 |
| 8 | 2,649 | 24,898 | 46.4 | 2,649 | 1,455 |
| Totals | 17,427 | 193,652 | --- | 17,427 | 10,681 |

⁽¹⁾ Based on 90% Rainfall Event (1.5 in.)

For the location and details of the above individual practices please refer to the Phase 1 Site plan drawings revised on September 3, 2015.

LIGHTHOUSE LANDING VENTURE LLC
1270 AVENUE OF THE AMERICAS
NEW YORK, NY 10020

VILLAGE OF SLEEPY HOLLOW APPLICATION FOR
SITE PLAN AND SUBDIVISION APPROVAL

LIST OF FULL SIZE DRAWINGS
(Revised September 3, 2015)

III. FULL-SIZE DRAWINGS (Attached)

- Cover Sheet
- SP-0.1 Phase 1 Site Plan
- SP-0.2 Demolition Plan
- SP-1.1-SP-1.3 Phase 1 Layout Plan
- SP-2.1-SP-2.3 Phase 1 Grading & Drainage
- SP-3.1-SP-3.3 Phase 1 Utility Plan
- SP-4.1-SP-4.3 Phase 1 Landscape Plan
- SP-5.1-SP-5.3 Road Profiles
- SP-6.1-SP-6.9 Utility Profiles
- SP-7.1-SP-7.3 Erosion & Sediment Control Plans
- SP-7.4 Erosion & Sediment Control Details
- SP-8.1-SP-8.5 Site Details
- EX-1.1-EX-1.3 Existing Conditions Plans
- LP-1-LP-3 Louis Poulsen Photometric Plan